

PROJECT INFORMATION

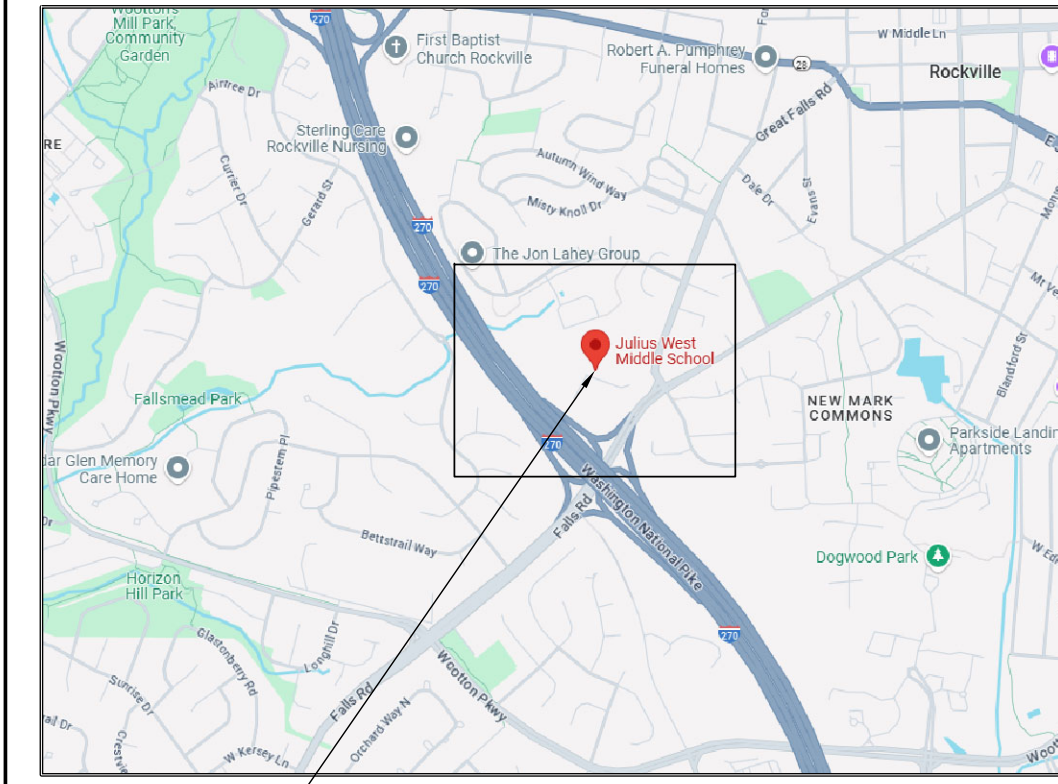
CHAIRLIFT REPLACEMENT FOR: JULIUS WEST MIDDLE SCHOOL

MONTGOMERY COUNTY PUBLIC SCHOOLS

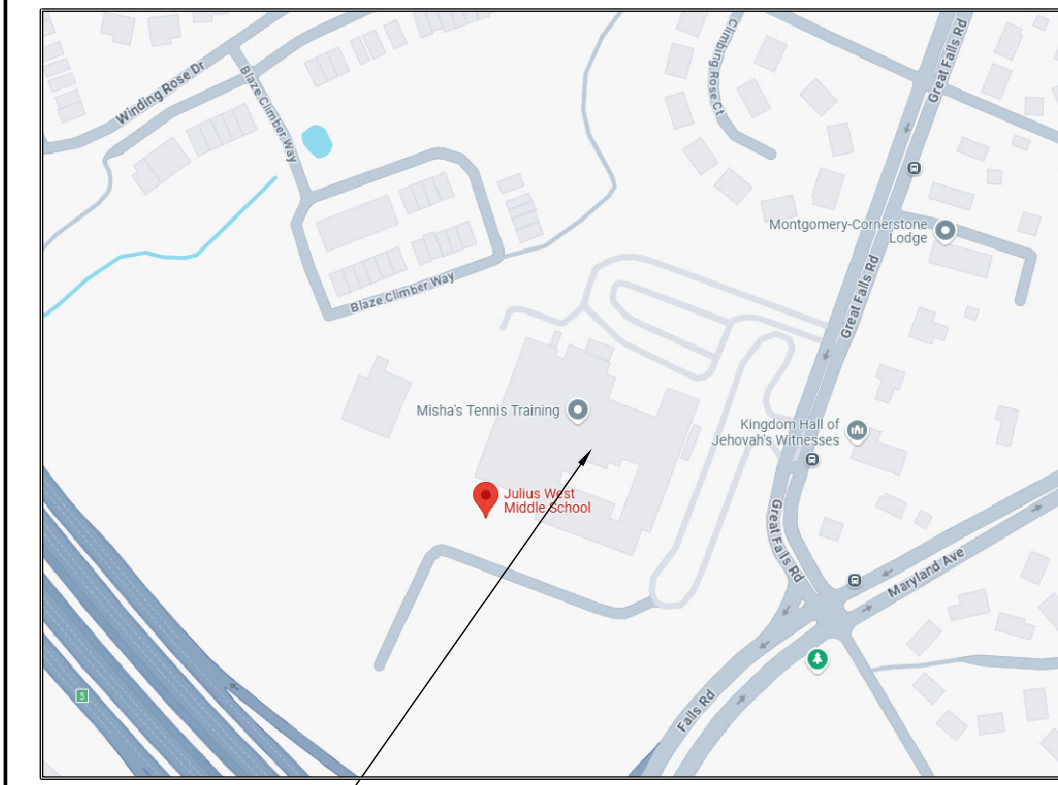
651 GREAT FALLS ROAD
ROCKVILLE, MARYLAND 20850



VICINITY & LOCATION MAP



SEE LOCATION MAP
VICINITY MAP
NOT TO SCALE



LOCATION OF JULIUS WEST MIDDLE SCHOOL
LOCATION MAP
NOT TO SCALE

LEGEND

	BRICK
	GMI
	CONCRETE
	FINISHED WOOD
	ROUGH WOOD
	FLYWOOD
	METAL
	GYP/SM BOARD
	RIGID INSULATION
	BATT INSULATION
	WINDOW OPENING
	DOOR / FRAME SEE SCHEDULE
	ROOM NAME ROOM NUMBER
	COLUMN REFERENCE
	DETAIL NUMBER
	SHEET TO LOCATE DETAIL
	DIRECTION OF VIEW
	ELEVATION NUMBER
	SHEET TO LOCATE ELEVATION
	DIRECTION OF CUTTING PLANE
	SECTION NUMBER
	SHEET TO LOCATE SECTION
	EXTENT OF SECTION CUT
	WALL TYPE
	WALL TYPE FIRE-RATED
	REVISION NOTE
	KEY NOTE
	HEIGHT INDICATOR (ABOVE FINISHED FLOOR, ABOVE SEA LEVEL)
	INTERIOR ELEVATION KEY:
	ELEVATION INDICATOR
	SHEET TO LOCATE ELEVATION
	DIRECTION OF VIEW

ABBREVIATIONS

ACOUS.	ANGLE	JAN.	JANITOR
ACT	ACOUSTIC	JT.	JOINT
A.D.	ACOUSTICAL CEILING TILE	LAM.	LAMINATE
A.D.J.	AREA DRAIN	LAV.	LAVATORY
A.F.F.	ADJUSTABLE	LI.N. FT.	LINEAR FEET
AIR COND.	ABOVE FINISHED FLOOR	LS.	LONG
AL.T.	AIR CONDITIONING	LL.H.	LONG LEGS HORIZONTAL
ALUM.	ALTERNATE	LL.V.	LONG LEGS VERTICAL
ANCH.	ALUMINUM	MAS.	MASONRY
A.P.	ANCHORED	MATL.	MATERIAL
APPROX.	ACCESS PANEL	MAX.	MAXIMUM
ARCH.	APPROXIMATE	MECH.	MECHANICAL
BD.	ARCHITECT	MFR.	MANUFACTURER
BIT.	BOARD	MISC.	MISCELLANEOUS
BLDG.	BITUMINOUS	M.O.	MASONRY OPENING
BLKS	BUILDING	MTL.	MOUNTED
B.O.F.	BLOCKING	NAT.	NATURAL
BOT.	BOTTOM OF FOOTING	N.I.G.	NOT IN CONTRACT
BRG.	BOTTOM BEARING	NO.	NUMBER
CAB.	CENTER LINE	NOM.	NOMINAL
C.L.	CABINET	N.T.S.	NOT TO SCALE
CL.	CONSTRUCTION JOINT	OA.	OVERALL
CL.6.	CEILING	O/C.	ON CENTER
CL.6. HT.	CEILING HEIGHT	O.D.	OUTSIDE DIMENSION
CL.8.	CLOSET	OH.	OVERHANG
CLR.	CLEAR	O/O.	OUT TO OUT
CMU	CONCRETE MASONRY UNIT	OP.	OPENING
CNTRL. JT.	CONTROL JOINT	OPF.	OPPOSITE
C.O.	CLEAN OUT	PSB	PAINTED GYP/SM BOARD
COL.	COLUMN	PL. P. I.	PLATE
CONC.	CONCRETE	PL. P. LAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS	PLYWOOD	PLYWOOD
CORR.	CORRIDOR	POL.	POLISHED
C.T.	CERAMIC TILE	PR.FAB.	PREFABRICATED
CTR.	CENTER	PR.FIN.	PREFINISHED
Ø	DIAMETER	PR.	PAIR
DBL.	DOUBLE	P.T.	PRESSURE TREATED
D.F.	DIAMETER	PTD.	PAINTED
DIA.	DIAMETER	P.V.G.	POLYVINYL CHLORIDE
DIM.	DIMENSION	R.	RISERS
DR.	DOWN	R.D.	RAINF. DRAIN
DN.	DOWN	RECEPT.	RECEPT
DS.	DOWNSPOUT	REIN.F.	REINFORCING
DTL.	DETAIL	REQD.	REQUIRED
DWS.	DRAWING	REV.	REVISED
EA.	EACH	RM.	ROOM
E.L.	EXPANSION JOINT	R.O.	ROUGH OPENING
EL. ELEV.	ELEVATION	SCHED.	SCHEDULE
ELEG.	ELECTRIC	SECT.	SECTION
EQ.	EQUAL	SH.	SHEET
EQU.	EQUIPMENT	SH.	SHEET
E.H.	EACH WAY	SH.	SHEET
E.N.C.	ELECTRIC WATER COOLER	SIM.	SIMILAR
EX. EXIST.	EXISTING	S.M.P.	SOLID MASONRY PIER
EXP.	EXPANSION	SP.ECS.	SPECIFICATIONS
EXT.	EXTERIOR	SO.	SQUARE
F.D.	FLOOR DRAIN	ST. STL.	STAINLESS STEEL
F.E.	FIRE EXTINGUISHER	STD.	STANDARD
F.E.G.	FIRE EXTINGUISHER CABINET	STL.	STEEL
FIN.	FINISH	STR.	STRUCTURE
FL. FLR.	FLOOR	SUSP.	SUSPENDED
FLOOR	FLOOR	SY.M.	SYMMETRICAL
F.O.E.X.	FLUORESCENT	T.	TREAD
FURR.	FACE OF EXISTING	T.146	TONGUE & GROOVE
FT. FT.	FURRING	TEL.	TELEPHONE
FTS.	FOOT/FEET	THK.	THICKNESS
GA.	GAUGE	THRU.	THROUGH
GALV.	GALVANIZED	T.O.S.	TOP OF SLAB
G.C.	GENERAL CONTRACTOR	T.O.STL.	TOP OF STEEL
GL.	GLASS	TYP.	TYPICAL
GRD.	GRADE	U.O.N.	UNLESS OTHERWISE NOTED
GYP. BD. 6MB	GYP/SM WALL BOARD	VAR.	VARIABLE
H.C.	HANDICAPPED	V.C.T.	VINYL COMPOSITION TILE
H.B.	HOSE BIB	VERT.	VERTICAL
HDA.	HARDWARE	VEST.	VESTIBULE
H.M.	HOLLOW METAL	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL	V.I.G.	VINYL WALL COVERING
HT.	HEIGHT	W/	WITH
HVAC	HEATING, VENTILATION & AIR CONDITIONING	W.	WIDTH
I.D.	INSIDE DIAMETER	W.D.	WOOD
IN.	INCHES	W.D.A.	WOOD
INFO.	INFORMATION	WGT. INT.	WEIGHT
INSUL.	INSULATION	W/P.	WITHOUT
INT.	INTERIOR	W/PF.	WEATHERPROOF
			WELDED WIRE FABRIC

CONTACT LIST

OWNER:
MONTGOMERY COUNTY PUBLIC SCHOOLS
DIVISION OF DESIGN AND CONSTRUCTION
45 WEST GUE DRIVE, SUITE 4300
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FAX: (301)-279-3003

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PROFFITT & ASSOCIATES ARCHITECTS, PC
49 SOUTH CARROLL STREET
FREDERICK, MD 21701
TEL.: (301)-662-8532
FAX: (301)-662-4192

MECH. / ELEC. ENGINEER:
ALBAN ENGINEERING, INC.
303 INTERNATIONAL CIR #450
HUNT VALLEY, MD 21030
TEL.: (410)-842-6411

GENERAL NOTES

- BIDDERS SHALL CAREFULLY EXAMINE THE BID DOCUMENTS, ACQUAINT THEMSELVES WITH ALL GOVERNING LAWS AND CODES, VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS BEFORE SUBMITTING BIDS.
- PART OF THE CONTRACTOR'S WORK INVOLVES ALTERATIONS TO AN EXISTING FACILITY. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE ACTUAL FIELD CONDITIONS, AND CHECK THE ACCURACY OF THE EXISTING CONDITIONS. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR EXECUTING ANY AND ALL WORK SHOWN, NOTED, OR SPECIFIED.
- THE INTENT OF THESE DRAWINGS IS FOR THE CONTRACTOR TO PROVIDE ALL LABOR, MATERIAL, FINISHES, EQUIPMENT, INSTALLATION, AND SERVICES NECESSARY FOR AND INCIDENTAL WITH THE WORK. TO PROVIDE THE OWNER WITH A COMPLETE PROJECT INCLUSIVE OF ALL SYSTEMS.
- ALL WORK DESCRIBED WITHIN THE BID DOCUMENTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO, THE CURRENT BUILDING CODE, LIFE SAFETY CODE, 2010 ADA, AS WELL AS ORDINANCES AND REGULATIONS AND OTHER BUILDING CODES ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND WARRANTY REQUIREMENTS.
- INDIVIDUAL SUBCONTRACTORS FOR ANY ELECTRICAL AND MECHANICAL WORK SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, ETC., AND PERFORM ALL WORK IN CONFORMANCE TO ALL LOCAL CODES.
- DISTURB AS SMALL AN AREA OF THE SITE AS POSSIBLE DURING CONSTRUCTION OPERATIONS; UNLESS OTHERWISE NOTED, PREPARE AND SEED DISTURBED AREAS AT THE COMPLETION OF THE PROJECT.
- REPAIR ALL AREAS DISTURBED BY THE WORK OF THIS PROJECT, INCLUDING SUBSTRATES OR STRUCTURAL REPAIRS, AND REPAIRS TO FINISHES TO MATCH AND ALIGN WITH EXISTING FINISHES TO REMAIN OR NEW FINISHES INSTALLED.
- THE JOB SITE IS TO BE LEFT CLEAN AND FREE FROM DEBRIS AT ALL TIMES.
- UNLESS OTHERWISE NOTED, ALL WORK IS CONSIDERED TO BE NEW CONSTRUCTION.
- CONTRACTOR TO PROTECT ALL EXISTING UNDERGROUND UTILITIES AND VERIFY LOCATION PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING, BRACINGS, AND TAKE OTHER PRECAUTIONS NECESSARY FOR SAFETY AS REQUIRED BY CODE AND PRACTICE.
- CONTRACTOR SHALL STAGE WORK IN SUCH A MANNER AS TO ENSURE SAFE EMERGENCY EGRESS AT ALL TIMES.
- EXCEPT FOR PRE-FINISHED SURFACES ALL ITEMS DISTURBED OR DAMAGED BY WORK SHALL BE REFINISHED TO MATCH SURROUNDING AREA OR FINISHED AS INDICATED.
- REPAIRED AND NEW AREAS OF WALLS OR CEILINGS SHALL BLEND AND FEATHER INTO SURROUNDING AREA WITHOUT ANY VISIBLE SEAMS OR CHANGE IN APPEARANCE BETWEEN THE
- REPAIRED OR NEW AREA AND THE SURROUNDING AREA WHEN VIEWED FROM A DISTANCE OF 3 FEET.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, CONCEALED WITHIN THE WALLS, FOR ATTACHMENT OF SURFACE AND/OR RECESSED MOUNTED EQUIPMENT OR ACCESSORIES, WHETHER SHOWN IN THE DRAWINGS OR NOT. BLOCKING TO BE FIRE RETARDANT.
- CONTRACTOR SHALL SUPPLY ALL NECESSARY ANCHORS, TIES, CLIPS, HANGERS, BOLTS, AND OTHER FASTENING DEVICES AS REQUIRED BY CODE AND GOOD PRACTICE.
- CONTRACTOR SHALL PROVIDE SEALANT AROUND LOUVERS, DOOR JAMBS AND HEADS, AND ADJACENT CONSTRUCTION.
- PART OF THIS WORK MAY INCLUDE THE INSTALLATION AND/OR MODIFICATION OF A SPRINKLER SYSTEM IN AN EXISTING BUILDING. CONTRACTOR IS BASED ON INFORMATION PROVIDED BY OTHERS AND PROFFITT & ASSOCIATES ARCHITECTS' FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO SUBMITTING SHOP DRAWINGS, AND BEFORE CONSTRUCTION AND FABRICATION OF MATERIALS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM THE INFORMATION PROVIDED IN A TIMELY MANNER.
- PRIOR TO MODIFICATION OR ADDITION OF SPRINKLER IN EXISTING BUILDING, SUBCONTRACTOR TO CONFIRM FINAL CEILING HEIGHT WITH CONTRACTOR DUE TO JOB CONDITIONS.
- EXISTING BUILDINGS INFORMATION IS BASED ON INFORMATION PROVIDED BY OTHERS AND PROFFITT & ASSOCIATES ARCHITECTS' FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO SUBMITTING SHOP DRAWINGS, AND BEFORE CONSTRUCTION AND FABRICATION OF MATERIALS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM THE INFORMATION PROVIDED IN A TIMELY MANNER.
- DRAWING INTENT IS TO INDICATE GENERAL ARRANGEMENT, DESIGN AND INTENT OF WORK AND IS PARTIALLY DIAGRAMMATIC. IT SHALL NOT BE SCALED FOR ROUGH-IN MEASUREMENTS, INCLUDING CONSTRUCTION OR FABRICATION. ALL DIMENSIONS FOR BUILT-IN ITEMS SHALL BE BASED ON FIELD DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF DIMENSIONS.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL, OR OPPOSITE PLANS, SECTIONS OR DETAILS.
- THE CONTRACTOR SHALL, UPON COMPLETION OF THE WORK, CLEAN THE SPACE, INCLUDING BUT NOT LIMITED TO, GLASS, DOORS, FRAMES, FLOORS, BASE, HVAC DIFFUSERS AND GRILLS, AND LIGHT FIXTURES, AND VGT, ETC.
- CONTRACTOR SHALL SEPARATE CONSTRUCTION AREA FROM EXISTING BUILDING WITH DUST PROOF BARRIERS.
- CONTRACTORS SHALL SUPPLY AND REPLACE EXISTING AIR FILTERS IN AREAS OF RENOVATION AND PROTECT DUCTWORK DURING CONSTRUCTION WITH TEMPORARY FILTER OR RETURN DUCTWORK. REFER TO THE GENERAL SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE ALL WORK THAT INVOLVES EXCESSIVE NOISE (I.E. SAW CUTTING CONCRETE, ETC.) WITH THE SCHOOL. CONTRACTOR SHALL PERFORM ALL SUCH WORK DURING NON-SCHOOL HOURS. NO ELECTRICAL, MECHANICAL, OR PLUMBING SHUT DOWNS ARE ALLOWED DURING SCHOOL HOURS WHILE STUDENTS OR STAFF ARE PRESENT.

DRAWINGS LIST

- AO.1 COVER SHEET
- ARCHITECTURAL DRAWINGS**
- CA.01 OVERALL EXISTING EGRESS FLOOR PLANS
- AI.1 EXISTING / DEMOLITION & PROPOSED FLOOR PLANS
- AS.1 INTERIOR ELEVATION AND SECTION
- ELECTRICAL DRAWINGS**
- EO.1 ELECTRICAL LEGEND, ABBREVIATIONS, & CONVENTIONS
- EII.1 DEMOLITION & PROPOSED FLOOR PLANS

SCOPE OF WORK SUMMARY - WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING, SEE DRAWINGS AND SPECIFICATIONS FOR FULL EXTENTS OF WORK.

THIS PROJECT CONSISTS OF INTERIOR RENOVATIONS TO AN EXISTING MIDDLE SCHOOL FOR REPLACEMENT OF AN EXISTING CHAIRLIFT WITH A NEW ADA-COMPLIANT MODEL. IMPROVEMENTS TO THE SPACE ARE LIMITED TO INTERIOR WORK AND INCLUDE ALL OR MOST OF THE FOLLOWING ASPECTS:

SELECTIVE DEMOLITION - THE PROJECT INCLUDES REMOVAL OF EXISTING CHAIRLIFT ASSEMBLY AND ALL RELATED COMPONENTS. SANITIZING AND REMOVAL OF EXISTING MASONRY IS ALSO INCLUDED.

MASONRY - THE PROJECT INCLUDES CONSTRUCTING A NEW RECESSED GMI WALL TO ACCOMMODATE THE CHAIRLIFT.

GENERAL TRADES - THE PROJECT REQUIRES INSTALLATION OF A NEW CHAIRLIFT WITH CONTROLS AND ACCESSORIES.

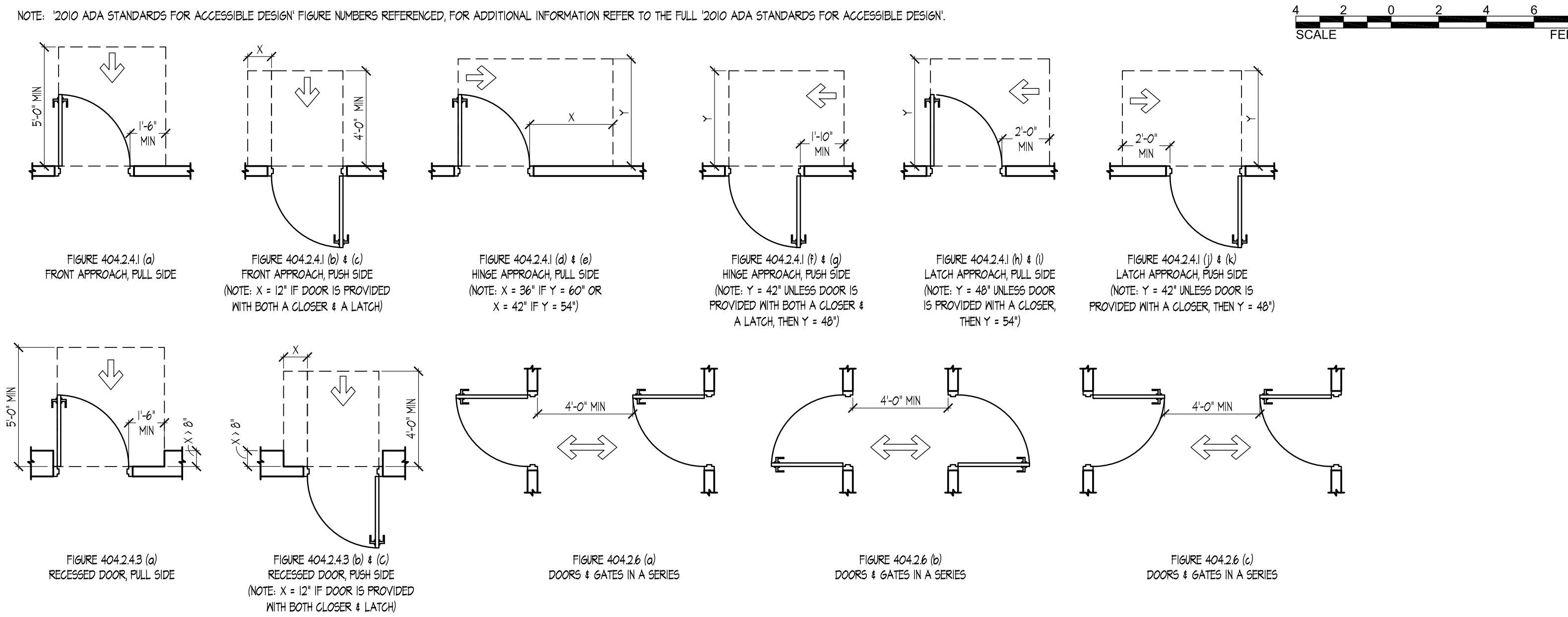
FINISHES & TRIM - THE PROJECT REQUIRES PATCHING & REPAIR OF EXISTING FINISHES DISTURBED BY THE WORK. ALL FINISH REPAIRS SHALL MATCH EXISTING ADJACENT MATERIALS, COLORS, & PATTERNS. PROVIDE BRASS METAL TRIM TO CONCEAL VOIDS AND GAPS BETWEEN CHAIRLIFT AND ADJACENT CONSTRUCTION.

ELECTRICAL - THE PROJECT INCLUDES WORK AS REQUIRED FOR CONNECTION OF THE NEW CHAIRLIFT SYSTEM.

BUILDING DATA:

CATEGORY	EXISTING	PROPOSED
BUILDING AREA	105,271 66F - MAIN LEVEL 55,991 66F - UPPER LEVEL 25,450 66F - LOWER LEVEL 186,126 66F - TOTAL ALL LEVELS	NO CHANGE TO EXISTING BUILDING
AREA OF ALTERATION	-	46 SF
AREA OF INTERIOR DEMOLITION	46 SF	-
BUILDING HEIGHT	3 STORIES	NO CHANGE TO EXISTING BUILDING
STATE RATED CAPACITY (SRC)	1,432 STUDENTS	NO CHANGE TO EXISTING BUILDING
OCCUPANCY CLASSIFICATION	EDUCATIONAL	NO CHANGE TO EXISTING BUILDING
OCCUPANT LOAD	-	NO CHANGE TO EXISTING BUILDING
SPRINKLER	SPRINKLERED	NO CHANGE TO EXISTING BUILDING
CONSTRUCTION TYPE	2B	NO CHANGE TO EXISTING BUILDING

ADA MANEUVERING CLEARANCES AT DOORS



DESIGN CODES:

AUTHORITY HAVING JURISDICTION: CITY OF ROCKVILLE, MARYLAND

BUILDING: 2021 INTERNATIONAL BUILDING CODE
MARYLAND BUILDING REHABILITATION CODE - COMAR 04.12.50
2021 INTERNATIONAL EXISTING BUILDING CODE

LIFE SAFETY: 2018 NFPA 101 LIFE SAFETY CODE
2018 NFPA 1 FIRE CODE

ELECTRICAL: 2020 NFPA 70 NATIONAL ELECTRICAL CODE

ACCESSIBILITY: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
MARYLAND ACCESSIBILITY CODE - COMAR 04.12.55
ASME A18.1-2020 SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIRLIFTS

SQUARE FOOTAGE SUMMARY:

OVERALL EXISTING BUILDING:	105,271 66F - MAIN LEVEL 55,991 66F - UPPER LEVEL 25,450 66F - LOWER LEVEL 186,126 66F - TOTAL ALL LEVELS
AREA OF INTERIOR DEMOLITION:	46 SF
AREA OF ALTERATION:	46 SF
TOTAL AREA PROPOSED BUILDING:	105,271 66F - MAIN LEVEL 55,991 66F - UPPER LEVEL 25,450 66F - LOWER LEVEL 186,126 66F - TOTAL ALL LEVELS



PROFFITT & ASSOCIATES ARCHITECTS

49 SOUTH CARROLL STREET
FREDERICK, MARYLAND 21701
PHONE (301) 662-8532
FAX (301) 662-4192
PROFFITTANDASSOCIATES.COM

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 14510
EXPIRATION DATE 03/07/26



February 11, 2025

CHAIR LIFT REPLACEMENT FOR:
JULIUS WEST MIDDLE SCHOOL
MONTGOMERY COUNTY PUBLIC SCHOOLS
651 GREAT FALLS ROAD
ROCKVILLE, MARYLAND 20850

ISSUE

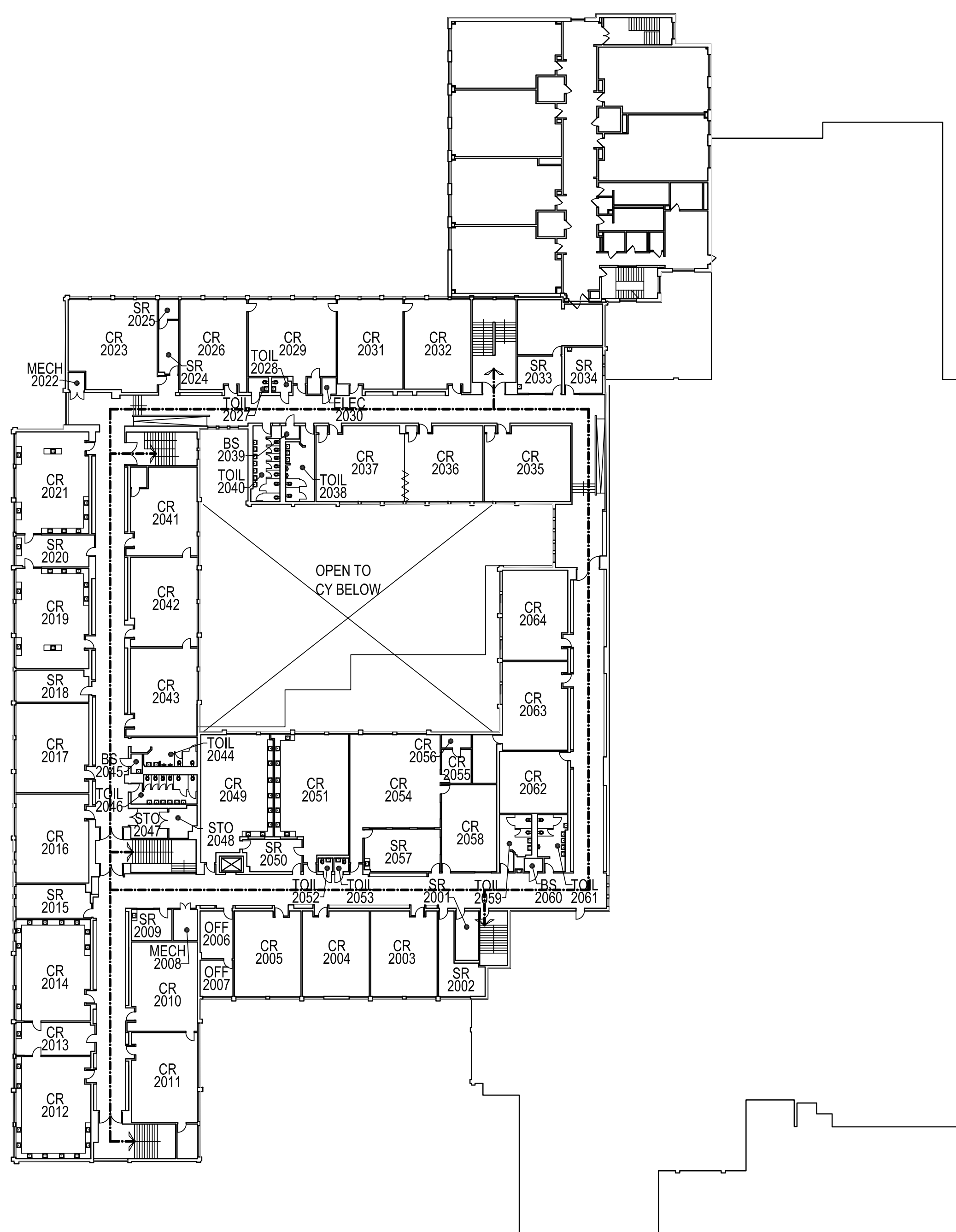
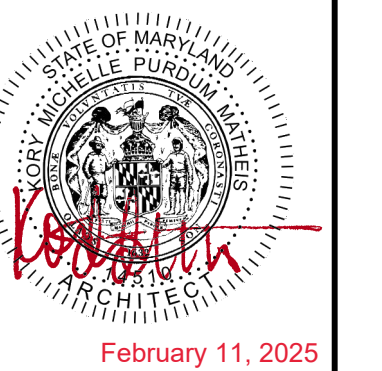
REV	DATE	DESCRIPTION

PROJECT NO.: 24-14.01
DATE: 02/05/2025

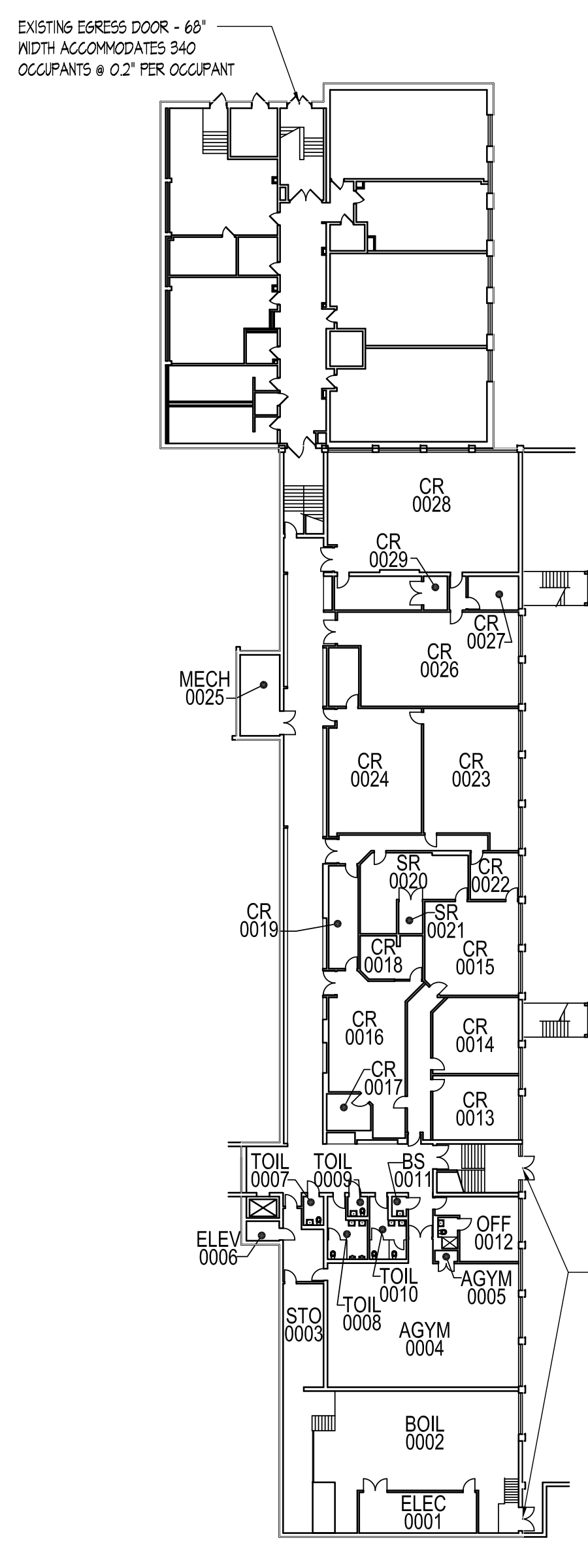
COVER SHEET

A0.1

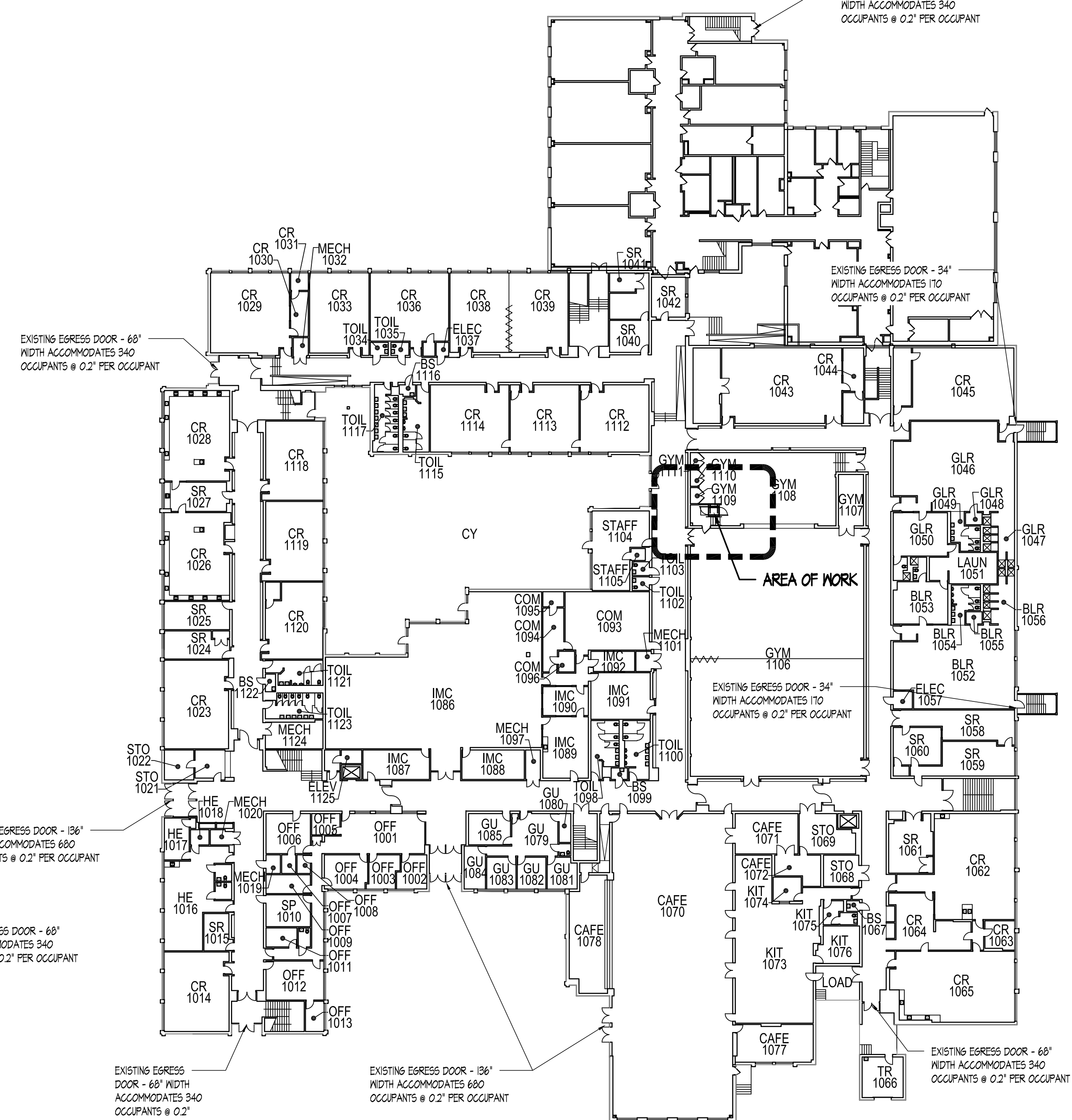
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 LICENSE No. 14510
 EXPIRATION DATE 03/07/26



1
OVERALL EXISTING UPPER LEVEL EGRESS FLOOR PLAN
 CA1.0
 SCALE: 1/32" = 1'-0"
 TRUE NORTH PLAN NORTH



2
OVERALL EXISTING LOWER LEVEL EGRESS FLOOR PLAN
 CA1.0
 SCALE: 1/32" = 1'-0"
 TRUE NORTH PLAN NORTH



3
OVERALL EXISTING MAIN LEVEL EGRESS FLOOR PLAN
 CA1.0
 SCALE: 1/32" = 1'-0"
 TRUE NORTH PLAN NORTH

NOTE: THIS EGRESS PLAN IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY TO INDICATE THE LOCATION OF ALL MAIN POINTS OF EGRESS FROM THE BUILDING. ALTHOUGH NO OCCUPANT LOAD OR EXIT CAPACITY CALCULATIONS WERE PERFORMED, NO INCREASE OR DECREASE IN OCCUPANT LOAD WILL RESULT FROM THESE MODIFICATIONS.

CHAIR LIFT REPLACEMENT FOR:
JULIUS WEST MIDDLE SCHOOL
 MONTGOMERY COUNTY PUBLIC SCHOOLS
 651 GREAT FALLS ROAD
 ROCKVILLE, MARYLAND 20850
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ISSUE		
REV	DATE	DESCRIPTION

PROJECT NO.: 24-14.01
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OVERALL EXISTING EGRESS FLOOR PLANS

CA1.0

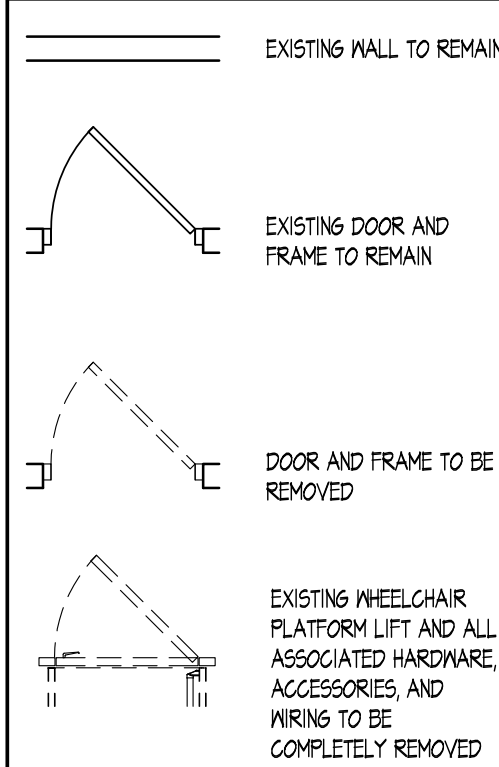
TYPICAL DEMOLITION GENERAL NOTES:

- AREAS OF DEMOLITION DENOTED BY DASHED LINES.
- THE CONTRACTOR SHALL RETURN ALL SALVAGEABLE MATERIAL AND/OR EQUIPMENT NOTED TO BE REMOVED ON SHEET A1.1 TO THE OWNER. THE OWNER SHALL STORE SALVAGEABLE MATERIAL AND/OR EQUIPMENT AT THEIR DISCRETION. THE CONTRACTOR SHALL DISPOSE OF ALL NON-SALVAGEABLE MATERIALS IN ACCORDANCE WITH LOCAL CODES.
- THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT ON ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDS THE EXECUTION OF THE DESIGN AS INDICATED ON THE DRAWINGS.
- ALL AREAS OF DEMOLITION SHALL BE PATCHED OR REPAIRED AS REQUIRED.
- COORDINATE DEMOLITION WITH PROPOSED NEW CONSTRUCTION INCLUDING CEILINGS, LIGHTS, POWER, DATA, SPRINKLER HEADS, WALLS, DOORS, FRAMES, HARDWARE, FINISHES, CONCRETE SLABS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AT ALL TIMES AND TO PROVIDE AND BE RESPONSIBLE FOR SHORING AND BRACING REQUIRED THROUGHOUT THE CONSTRUCTION PERIOD.
- ANY ITEMS NOT NOTED TO BE DEMOLISHED BUT REQUIRING REMOVAL IN ORDER TO ACCOMPLISH THE REQUIRED DEMOLITION WORK SHALL BE REINSTALLED OR REPLACED IN KIND IN LOCATION DIRECTED BY OWNER UPON COMPLETION OF THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ANY AREAS DAMAGED BY THE DEMOLITION AND/OR CONSTRUCTION WORK SHALL BE REPAIRED AND/OR RECEIVE NEW SUBSTRATES, FINISHES, AND/OR MATERIALS TO MATCH THE EXISTING AFFECTED ITEMS. ANY REPAIR OR REPLACEMENT WORK SHALL BE PERFORMED TO A LEVEL OF QUALITY EQUAL TO THAT FOUND PRIOR TO BEGINNING WORK ON THIS PROJECT.
- THE SELECTIVE DEMOLITION AS SHOWN ON THE DRAWINGS IS DIAGNOSTIC, AND IN NO WAY ATTEMPTS TO SHOW ALL EXISTING FIXTURES, CONNECTIONS AND FITTINGS, AND OTHER MISCELLANEOUS ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING/COORDINATING ALL MISCELLANEOUS DEMOLITION AS REQUIRED DUE TO FIELD CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL THE CONTAINMENT OF DUST AND DEBRIS DURING THE DEMOLITION PERIOD AND SHALL OBTAIN ALL REQUIRED PERMITS AND COORDINATE WITH THE LOCAL BUILDING DEPARTMENT THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. DAILY SITE CLEANING WILL BE REQUIRED WITH ADDITIONAL CLEANING IF REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
- PRIOR TO BEGINNING DEMOLITION, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A STAGING PLAN OUTLINING THE DESIRED PLACEMENT OF DUMPSTERS, DUST AND DEBRIS CONTROL MEASURES AND SCHEDULE OF ACTIVITIES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO EACH DEMOLITION ACTIVITY.
- PROVIDE TEMPORARY COVER OR PARTITIONS TO PROTECT EXIST. BUILDING DURING CONSTRUCTION FROM EXPOSURE TO AND DAMAGE FROM THE ELEMENTS.
- EXISTING FINISHES SPECIFICALLY NOT CALLED OUT TO BE REMOVED ARE TO REMAIN (PAINT, FLOORING, ETC.). PREPARE EXISTING SURFACES FOR APPLICATION OF NEW FINISHES AS REQUIRED BY MANUFACTURER RECOMMENDATIONS.
- SEE ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

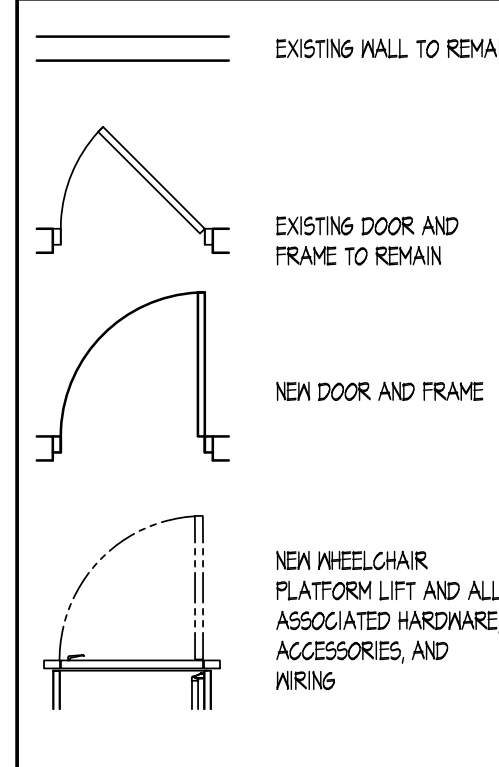
SELECTIVE DEMOLITION NOTES:

- COMPLETELY REMOVE EXISTING WHEELCHAIR PLATFORM LIFT AND ALL ASSOCIATED EQUIPMENT, WIRING, RAMP, ETC. PREPARE AREA FOR INSTALLATION OF NEW EQUIPMENT. PATCH AND REPAIR TO MATCH EXISTING IN ALL ASPECTS.
- REMOVE EXISTING ELECTRICAL DISCONNECT SWITCH, PATCH AND REPAIR EXISTING WALL. FINISHES WHERE SWITCH IS REMOVED. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- HANDRAILS TO BE REMOVED AND REINSTALLED WITH NEW ANCHORAGES.
- REMOVE PORTION OF CMU MASONRY WALL TO ACCOMMODATE NEW CHAIR LIFT MECHANISM PREP. MASONRY OPENING TO RECEIVE NEW TOOTHED RECESSED MASONRY WALL.

DEMOLITION KEY:

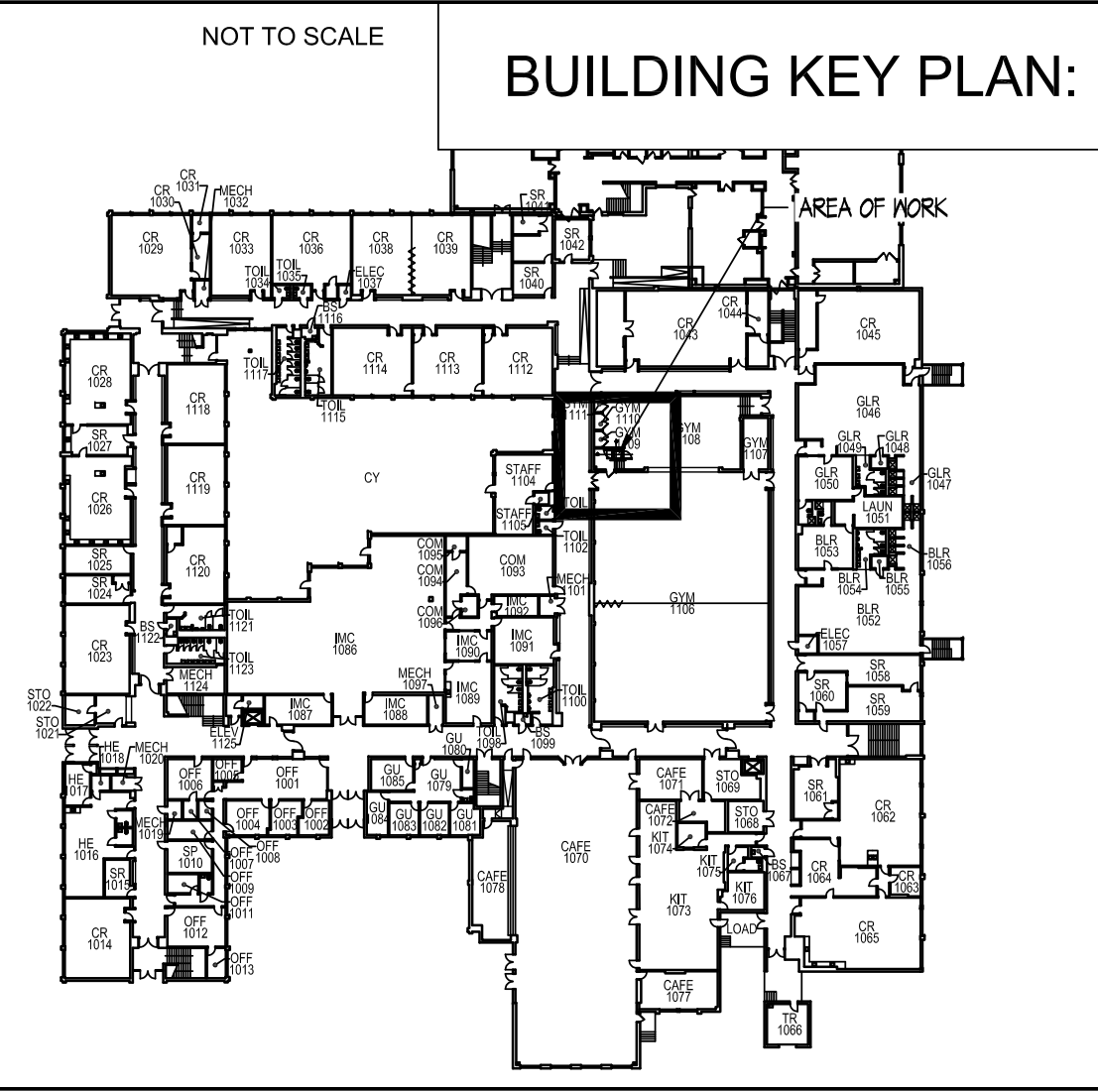
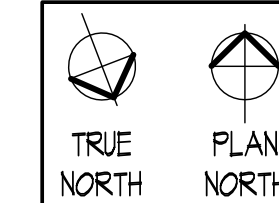


PROPOSED KEY:



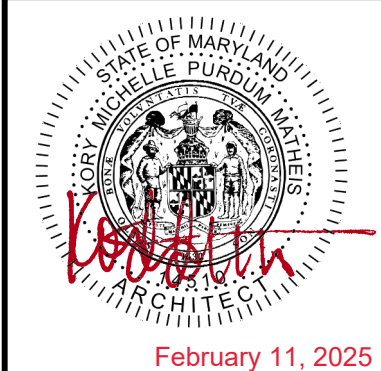
SELECTIVE NEW WORK NOTES:

- INSTALL NEW WHEELCHAIR PLATFORM LIFT SYSTEM INCLUDING BUT NOT LIMITED TO STRUCTURAL COMPONENTS, DOORS, PLATFORM LIFT, AND WIRING, TO PROVIDE A COMPLETE WORKING SYSTEM. LIFT MANUFACTURER IS TO PROVIDE ALL CLOSURE AND PANELS REQUIRED TO SEAL ALL GAPS BETWEEN NEW LIFT & EXISTING STRUCTURE. BASIS OF DESIGN: SAVARIA MULTILIFT CFFS.
- PATCH & REPAIR WOOD FLOOR TO MATCH EXISTING CONDITIONS.
- NEW ELECTRICAL DISCONNECT. SEE ELECTRICAL DRAWINGS.
- RECONSTRUCT CMU CURB AT RECESS WITH SOLID BULL NOSE CMU CUT TO MATCH PLANE OF RECESS BELOW.



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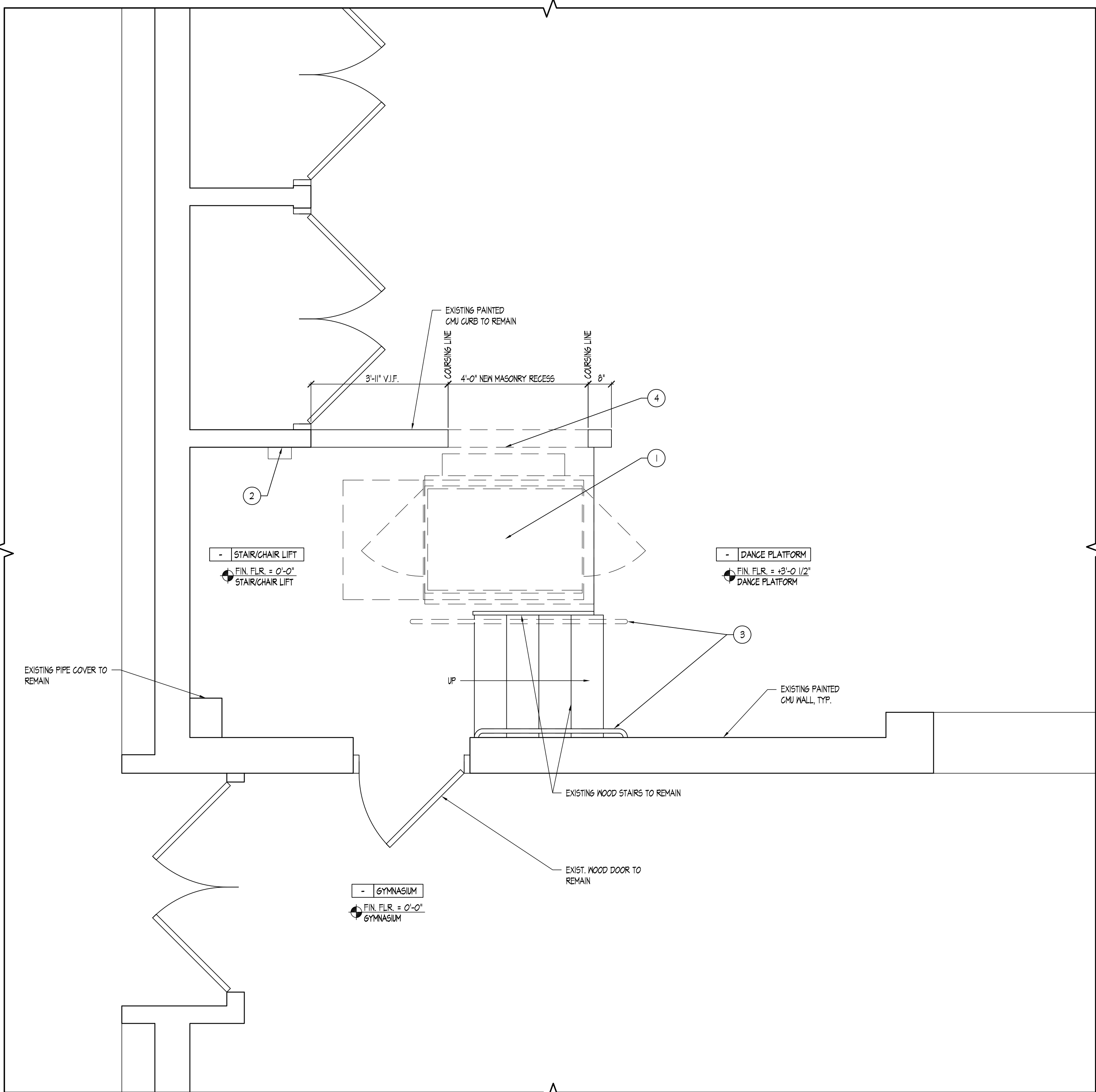
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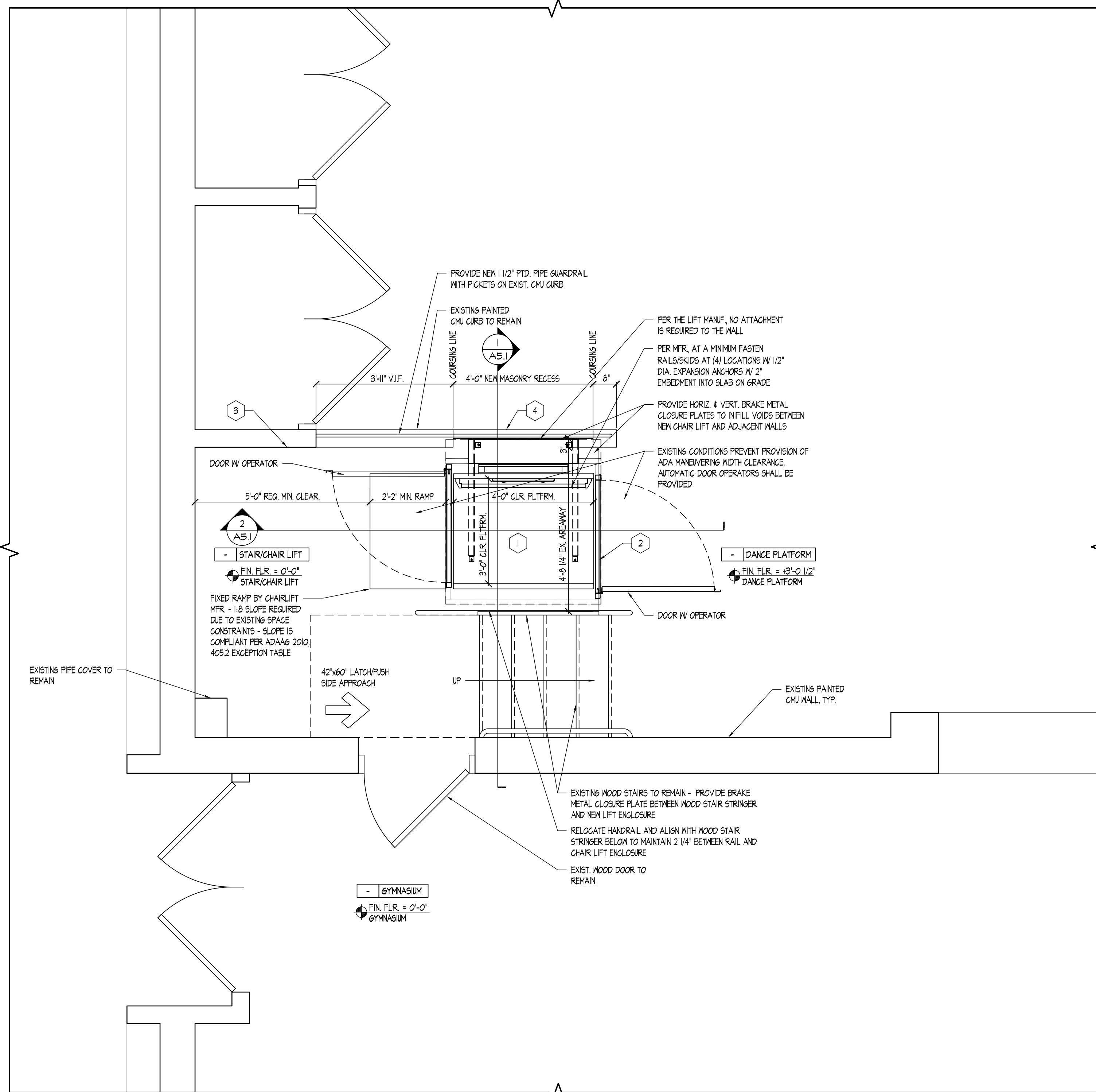
PROJECT NO.: 24-14.01
DATE: 02/05/2025

EXISTING / DEMOLITION & PROPOSED FLOOR PLANS

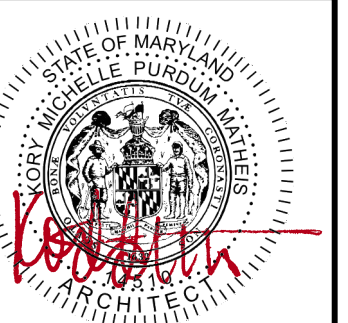
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1
A1.1 EXISTING / DEMOLITION FLOOR PLAN
SCALE: 1/2" = 1'-0"
SCALE 0 1 2 3 4 FEET
TRUE NORTH PLAN NORTH



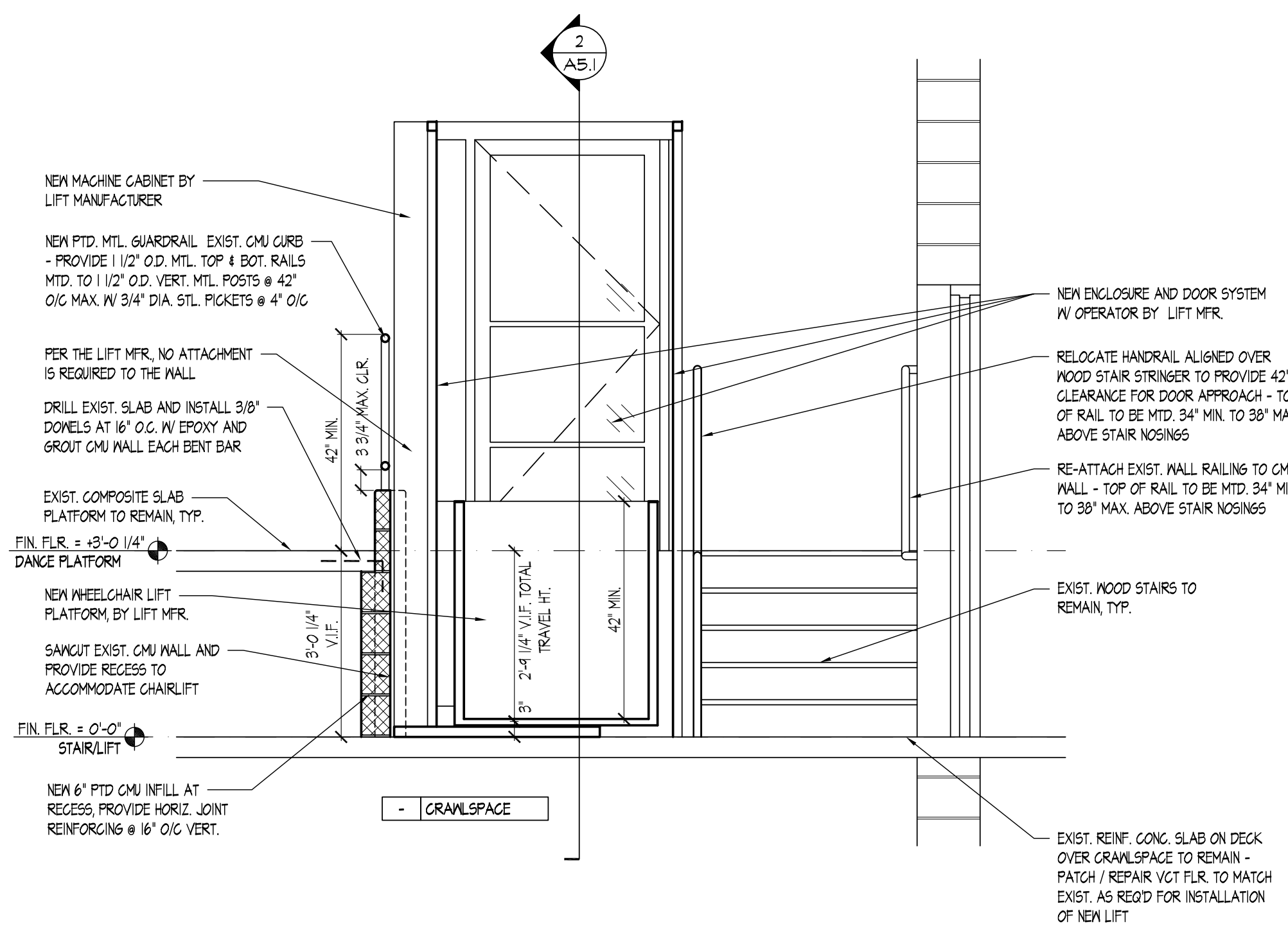
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A1.1 PROPOSED FLOOR PLAN
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TRUE NORTH PLAN NORTH



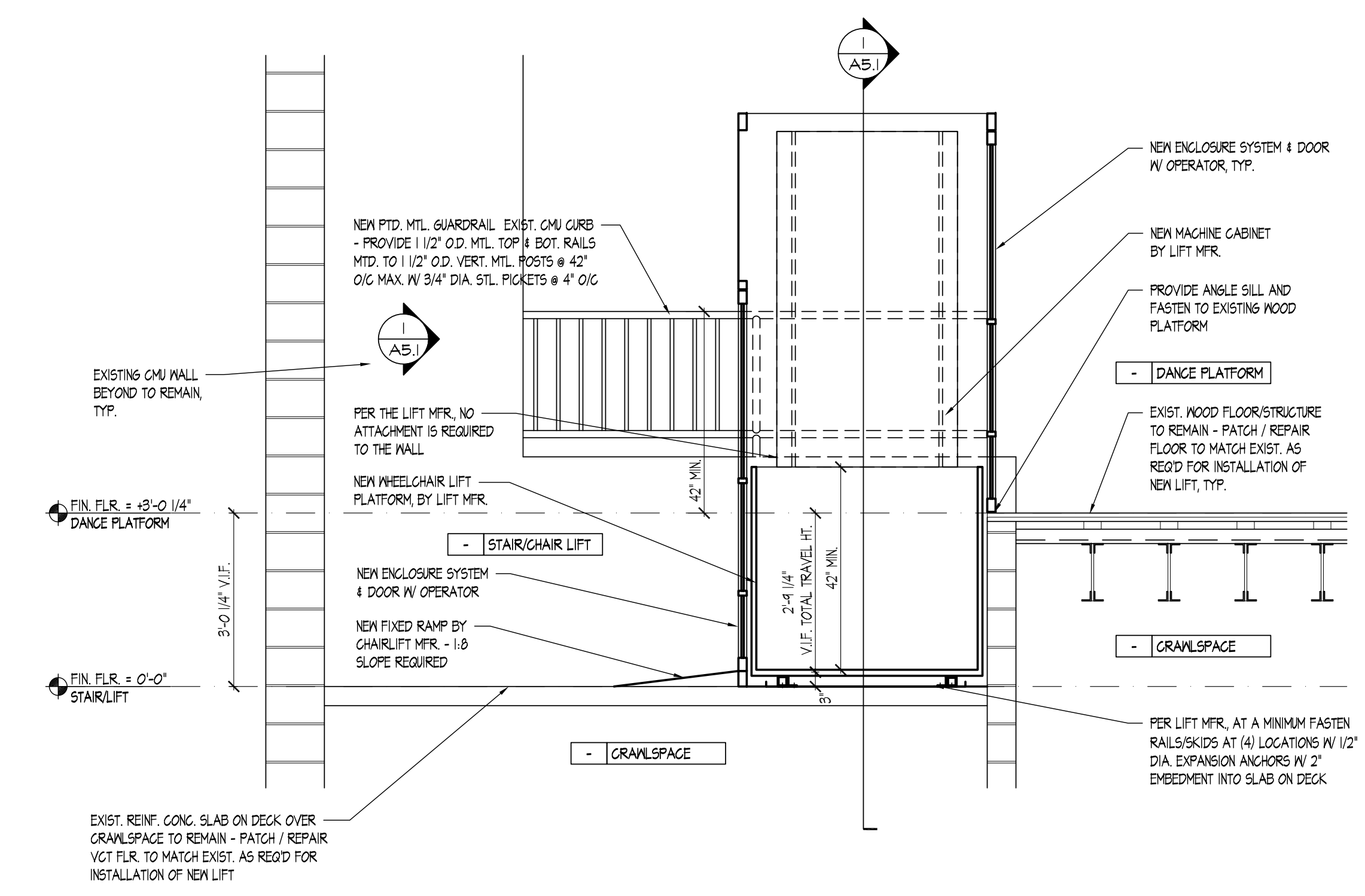
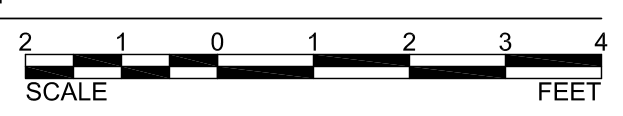
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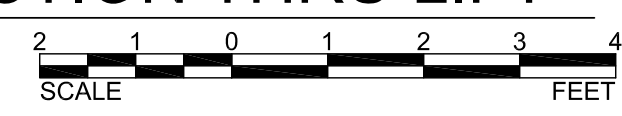
PROJECT NO.: 24-14.01
DATE: 02/05/2025
INTERIOR ELEVATION AND SECTION



1 CROSS SECTION THRU LIFT
A5.1 SCALE: 1/2" = 1'-0"



2 LONGITUDINAL SECTION THRU LIFT
A5.1 SCALE: 1/2" = 1'-0"

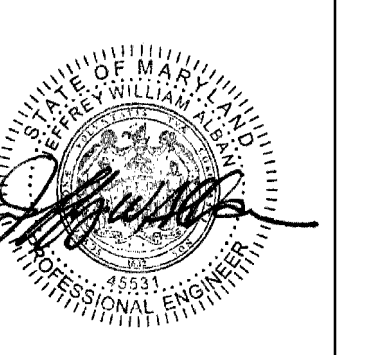




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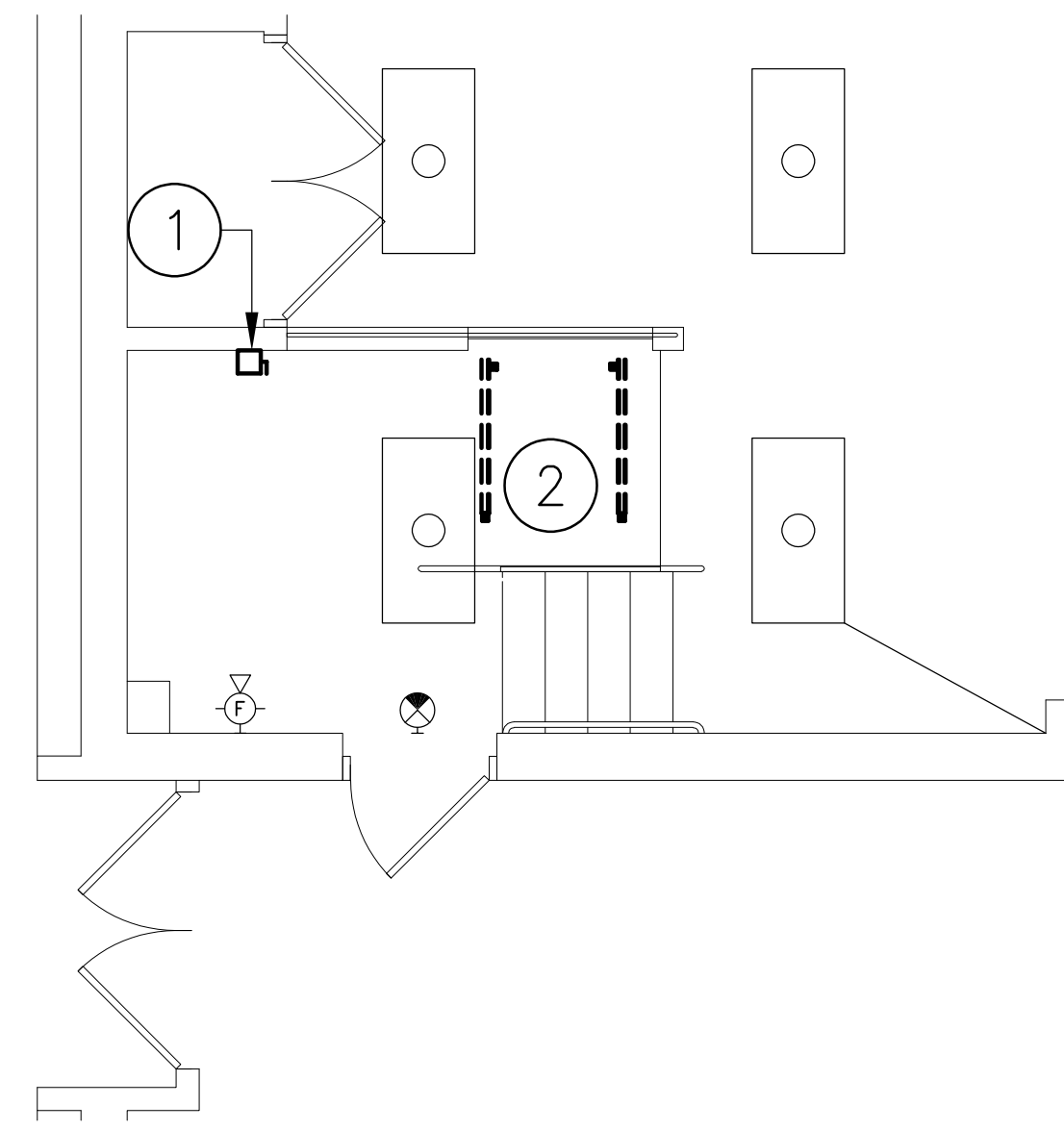
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DATE: 02/05/2025

DEMOLITION & PROPOSED FLOOR PLANS

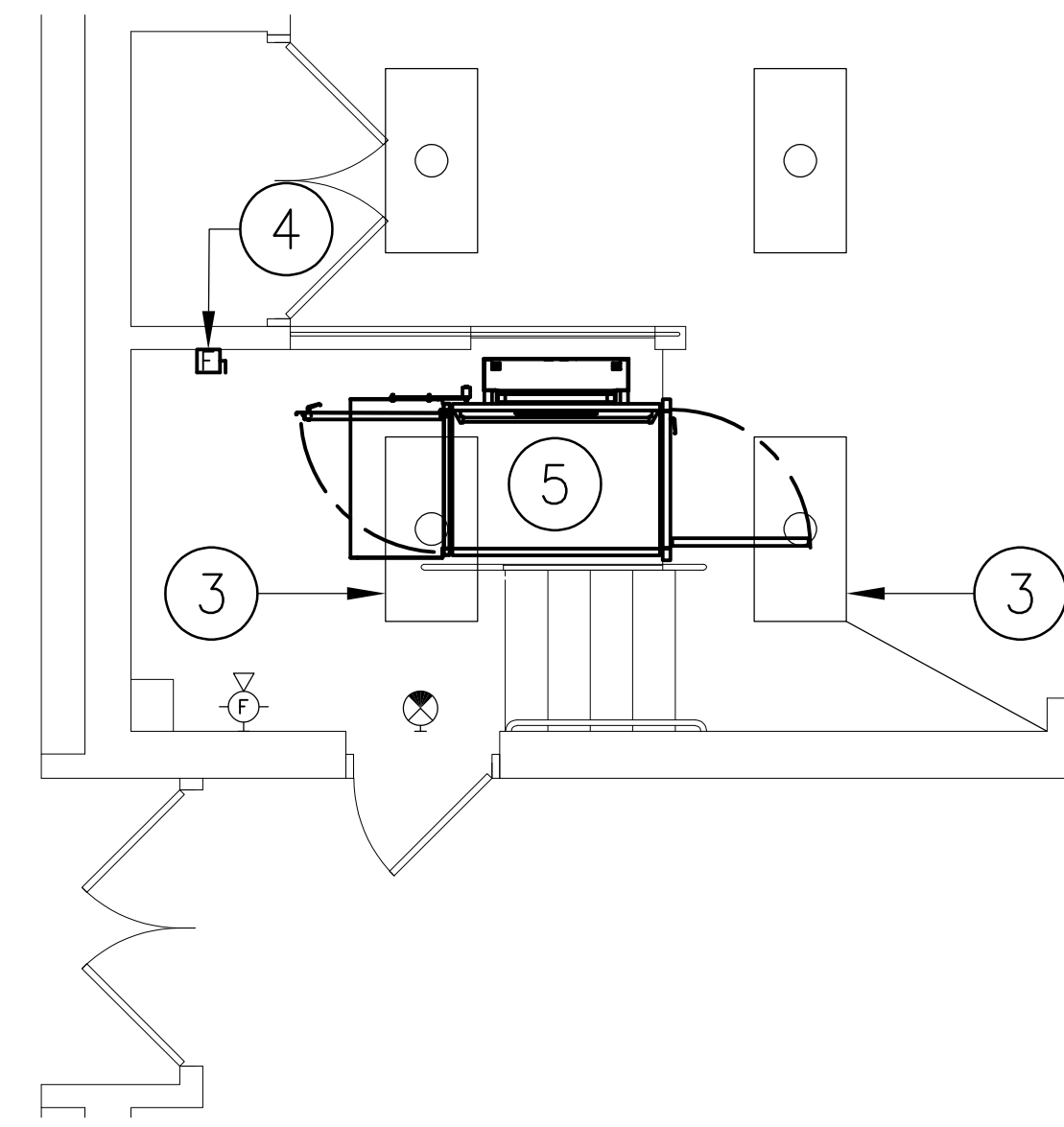
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DRAWING NOTES:

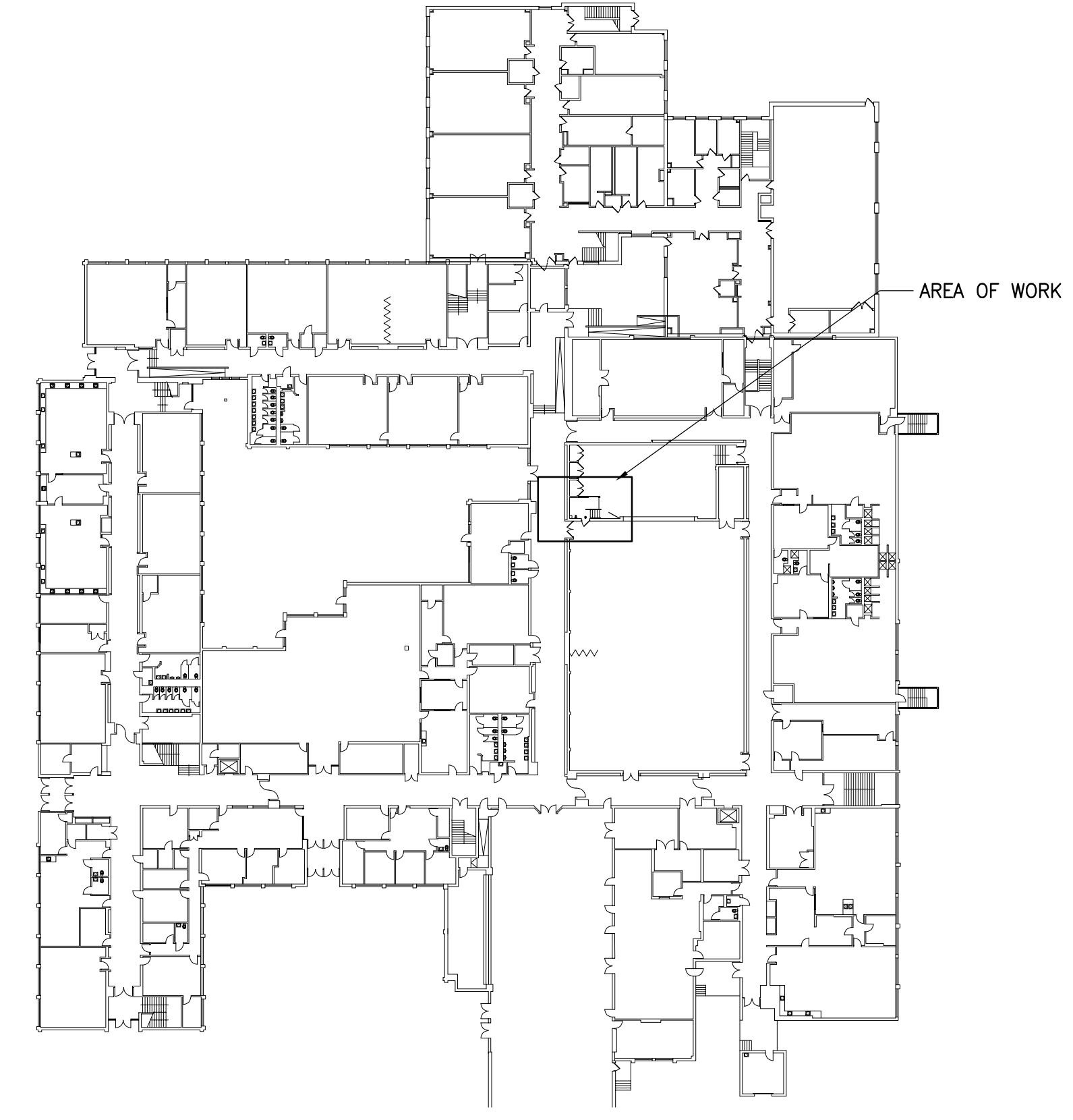
- ① REMOVE EXISTING DISCONNECT. MAINTAIN/EXTEND/MODIFY CIRCUIT AS REQUIRED FOR RECONNECTION OF NEW CHAIR LIFT.
- ② REMOVE ALL ELECTRICAL APPURTENANCES ASSOCIATED WITH DEMOLISHED LIFT UON. MAINTAIN CIRCUIT FOR RECONNECTION TO NEW LIFT DISCONNECT.
- ③ CONNECT TO NEAREST EMERGENCY LIGHTING CIRCUIT WITH (2)#12+#12GW-3/4"C.
- ④ PROVIDE 2P-30A-F/SS (FUSED PER MANUFACTURER'S NAMEPLATE DATA) IN NEMA 1 ENCLOSURE WITH AUXILIARY CONTACTS. MOUNT AT WALL AND CONNECT TO CIRCUIT MAINTAINED DURING DEMOLITION AND MAKE ALL CONNECTIONS. PROVIDE (2)#18AWG CONDUCTORS BETWEEN CONTACTS AND CONTROLLER.
- ⑤ NEW CHAIRLIFT. MAKE CONNECTION TO NEW DISCONNECT. MAKE ALL INNER CONNECTIONS AS REQUIRED. LOCATE NEW LIFT CALL CONTROLS WITH MANUFACTURER'S RECOMMENDATIONS.



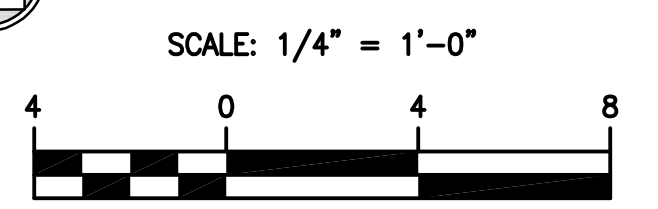
CHAIR LIFT - DEMOLITION
SCALE: 1/4" = 1'-0"



CHAIR LIFT - NEW WORK
SCALE: 1/4" = 1'-0"



KEYPLAN

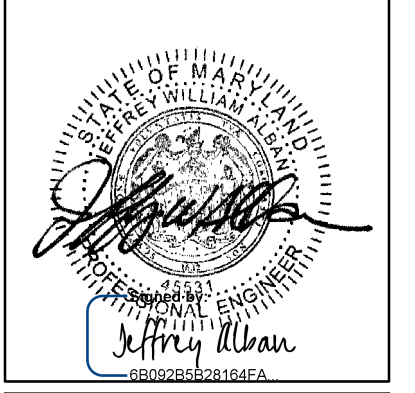




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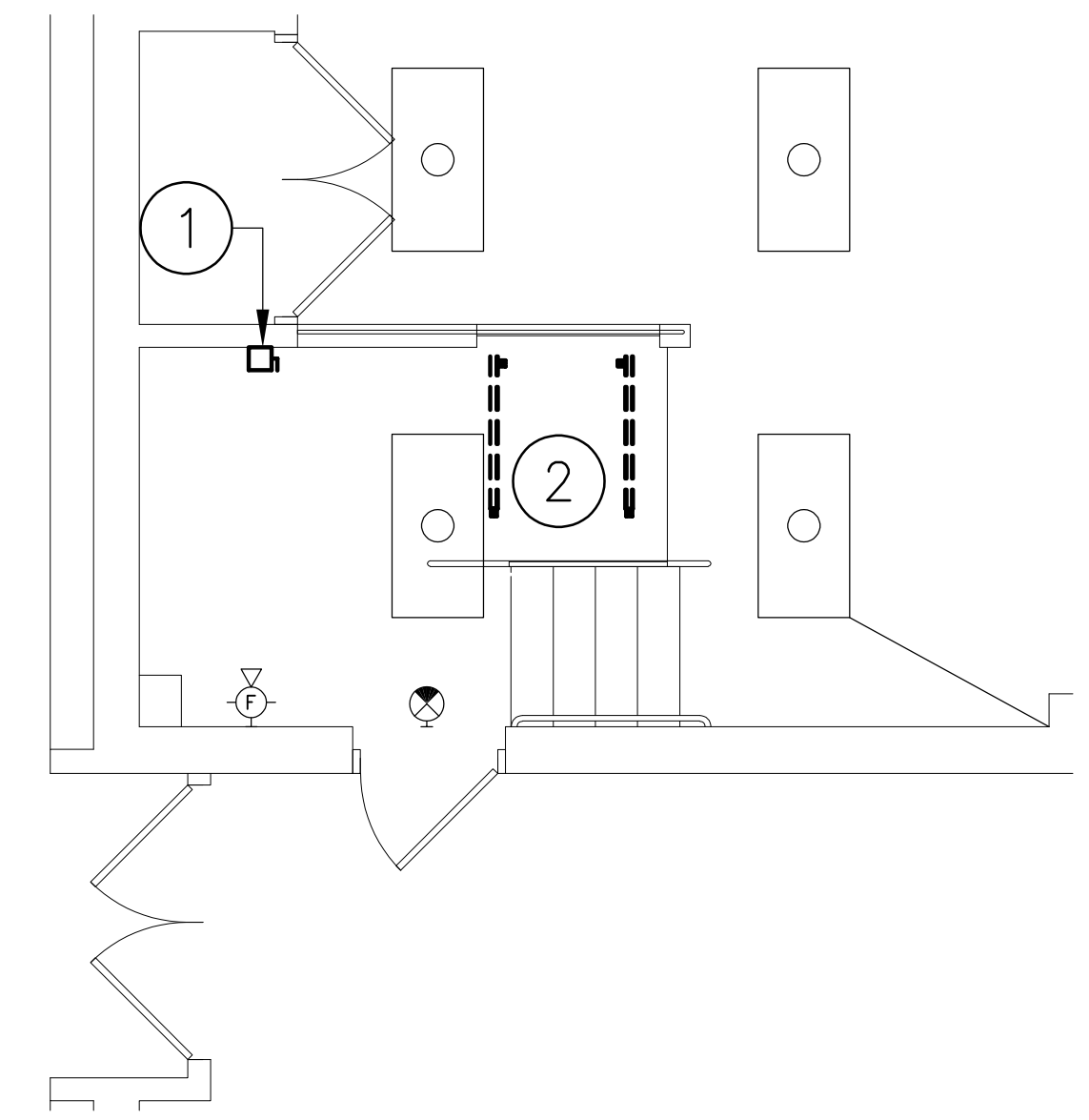
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DEMOLITION & PROPOSED FLOOR PLANS

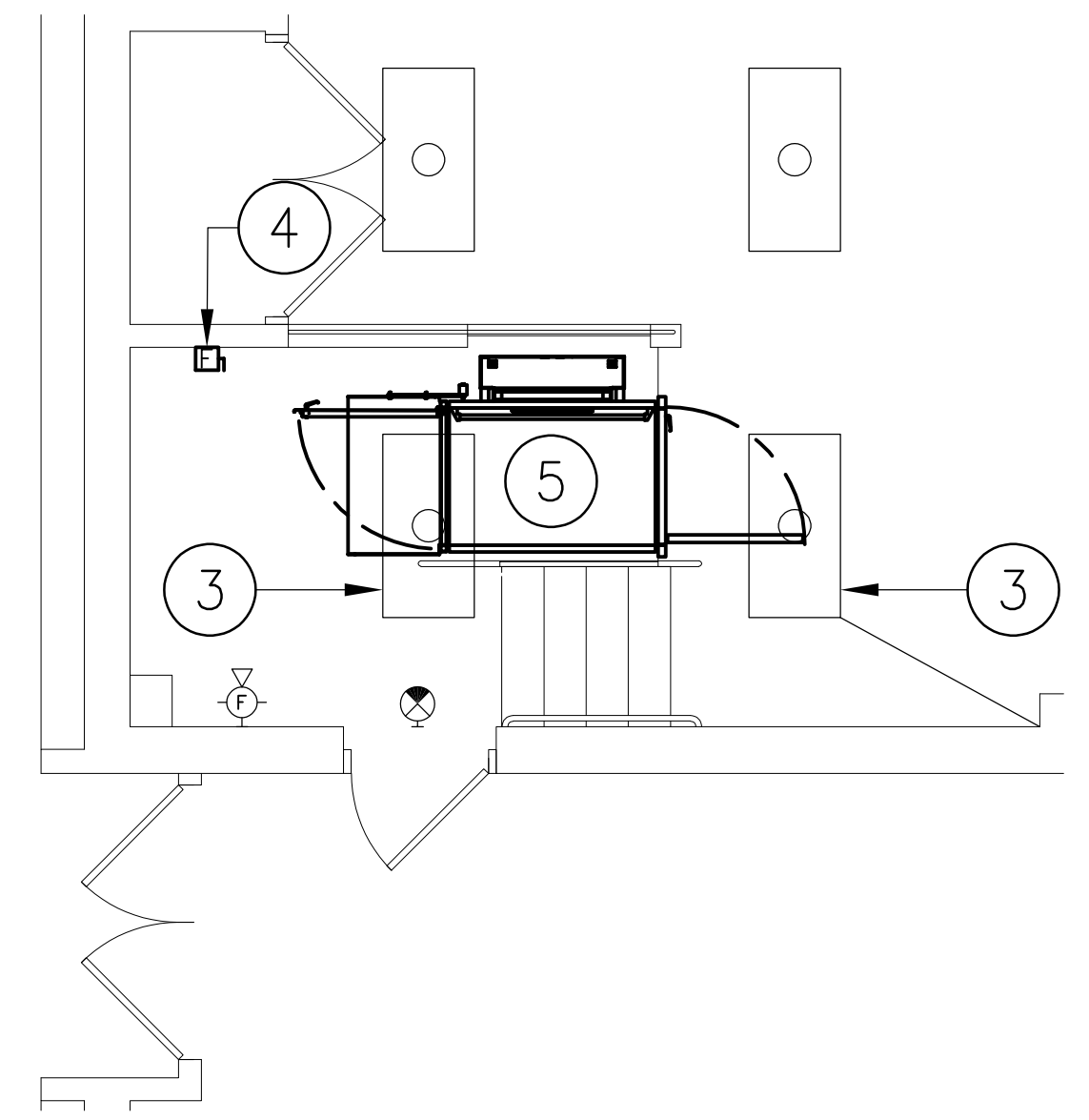
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DRAWING NOTES:

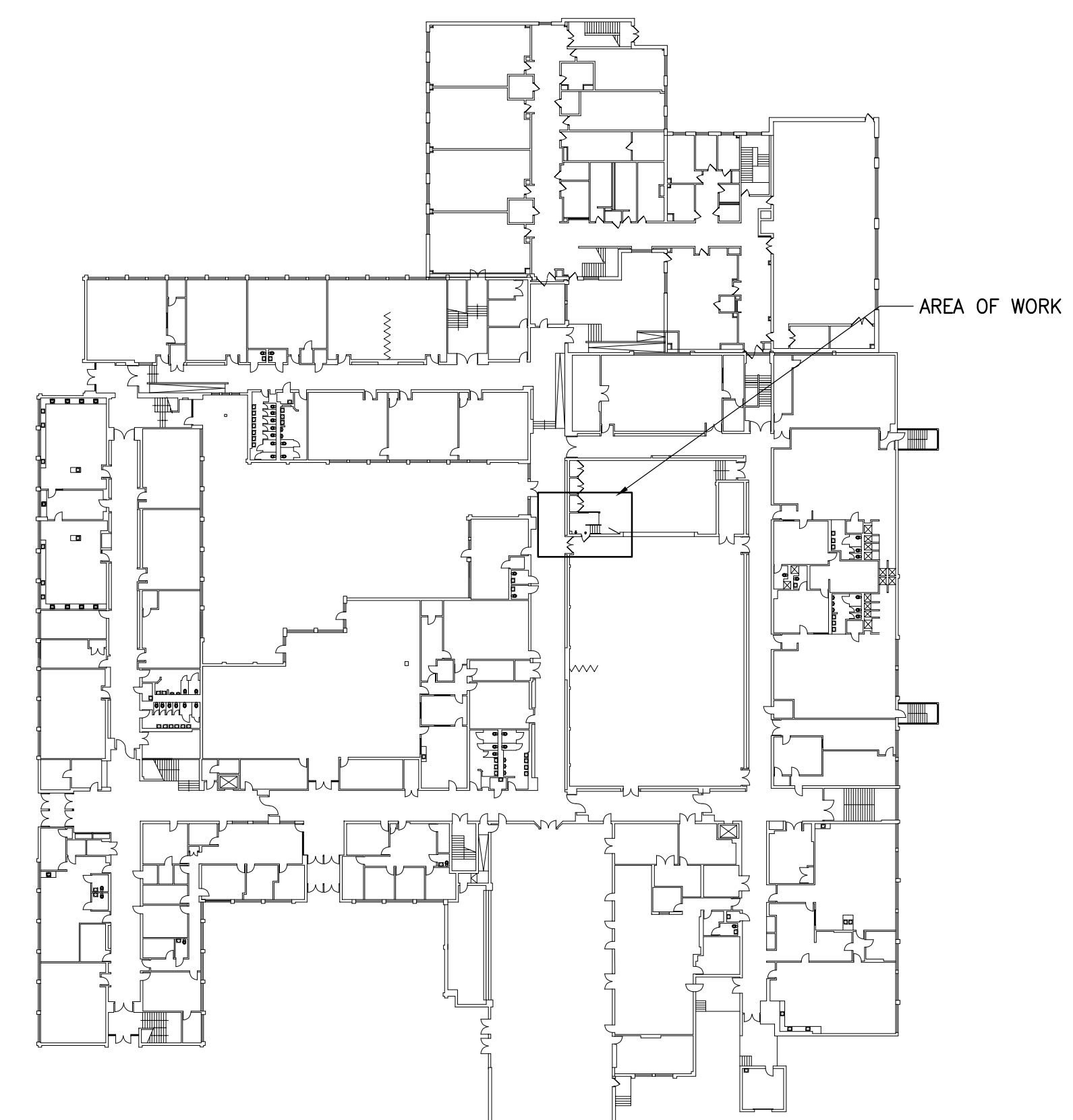
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- 5 NEW CHAIRLIFT. MAKE CONNECTION TO NEW DISCONNECT. MAKE ALL INNER CONNECTIONS AS REQUIRED. LOCATE NEW LIFT CALL CONTROLS WITH MANUFACTURER'S RECOMMENDATIONS.



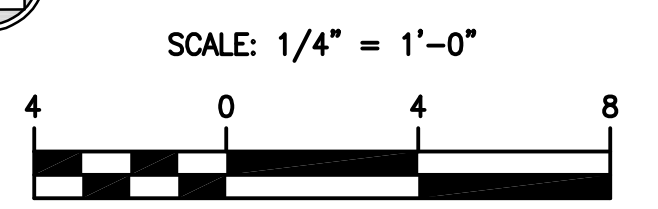
CHAIR LIFT - DEMOLITION
SCALE: 1/4" = 1'-0"



CHAIR LIFT - NEW WORK
SCALE: 1/4" = 1'-0"



KEYPLAN



SCALE: 1/4" = 1'-0"